



**NOTICE OF THE REGULAR MEETING  
OF THE PLANNING & ZONING COMMISSION  
Tuesday, January 3, 2017**

Notice is hereby given of the Regular Meeting of the Planning & Zoning Commission beginning at 6:30 p.m. Tuesday, January 3, 2017, at Argyle Town Hall, located at 308 Denton Street, Argyle, Texas. The Items listed below are placed on the agenda for discussion and/or action.

**REGULAR MEETING AGENDA 6:30 PM**

**A. CALL TO ORDER – Chairman Paul Walker**

**B. PLEDGE OF ALLEGIANCE – American Flag**

**C. PLEDGE OF ALLEGIANCE – Texas Flag - “Honor the Texas Flag; I pledge allegiance to thee Texas, one state, under God, one and indivisible”.**

**D. MINUTES**

1. Consider approval of the minutes of the Regular Planning and Zoning Commission Meeting of December 6, 2016.

**E. OLD BUSINESS**

None.

**F. NEW BUSINESS**

1. **PUBLIC HEARING:** Consider and make a recommendation for an ordinance amendment (ORD-16-006) regarding text amendments to the Town of Argyle Comprehensive Plan.

**G. FUTURE AGENDA AND ITEMS OF INTEREST**

1. Briefing on recent Town Council action on Community Development agenda items.
2. Project updates.



## H. ADJOURNMENT

### CERTIFICATION:

I hereby certify that the above notice was posted on the bulletin board at Argyle Town Hall, 308 Denton Street, Argyle, Texas, at 5:00 p.m. on the 29<sup>th</sup> day of December, 2016.

A handwritten signature in blue ink, appearing to read 'Matt Jones', is written over a horizontal line.

Matthew C. Jones, AICP  
Director of Community Development

A quorum of the members of the Argyle Town Council may be in attendance at this meeting.  
The Town Council will take no action at this time.

** Persons with disabilities who plan to attend this public meeting and who may need auxiliary aid or services are requested to contact the Argyle Town Hall 48 hours in advance, at 940-460-7273, and reasonable accommodations will be made for assistance.**

**MINUTES OF THE TOWN OF ARGYLE  
PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, DECEMBER 6, 2016**

A regular meeting of the Argyle Planning and Zoning Commission was held on Tuesday, December 6, 2016, at 6:30 p.m. at Argyle Town Hall, located at 308 Denton Street, Argyle, Texas. This was an OPEN MEETING, open to the public, subject to the open meeting laws of the State of Texas and, as required by law, was hereby posted on December 2, 2016 at 5:00 PM, at Argyle Town Hall, giving notice of time, date, place, and agenda thereof.

**PLANNING AND ZONING COMMISSION MEMBERS PRESENT:**

Paul Walker, Chairman  
Jackie Thomas, Vice-Chair  
Sherry Griffin  
Wayne Holt  
Eric Fields  
Richard Spies

**PLANNING AND ZONING COMMISSION MEMBERS ABSENT:**

Paula Mabry

**STAFF PRESENT:**

Matthew Jones, Director of Community Development  
Angie Manglaris, Development Coordinator  
Matthew Butler, Town Attorney

**REGULAR MEETING AGENDA**

**A. CALL TO ORDER**

The regular meeting was called to order at 6:30 p.m., noting a quorum was present.

**B. PLEDGE OF ALLEGIANCE – American Flag**

**C. PLEDGE OF ALLEGIANCE – Texas Flag - “Honor the Texas Flag; I pledge allegiance to thee Texas, one state, under God, one and indivisible”.**

**D. MINUTES**

**1. Consider approval of the minutes of the Regular Planning and Zoning Commission Meeting of October 4, 2016.**

Mrs. Thomas motioned, Mrs. Griffin seconded to approve the minutes of October 4, 2016 as presented. The motion carried unanimously by a vote of 6-0.

**E. OLD BUSINESS**

None.

**F. NEW BUSINESS**

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- 1. PUBLIC HEARING: Consider and take appropriate action on a final plat (FP-16-010) on an approximately 27.75 acre tract of land, legally described as Lot 1R, Block A, Timberidge Addition and being located at 405 Crawford Road, Town of Argyle, Denton County, Texas.**

Mr. Jones explained the final plat application and presented the staff report.

The public hearing opened at 6:37 p.m. Public input was received. The public hearing closed at 6:45 p.m.

Discussion was held and Mr. Holt motioned to approve the final plat with the staff recommendations, and Mr. Fields seconded the motion. The motion carried by a vote of 5-1.

- 2. New member orientation for incoming Commissioners.**

Mr. Butler presented the new member orientation.

#### **G. FUTURE AGENDA AND ITEMS OF INTEREST**

- 1. Briefing on recent Town Council action on Community Development agenda items.**

Mr. Jones provided the Commission with recent updates regarding current Community Development items.

- 2. Project Updates.**

Mr. Jones updated the Commission of future projects to be considered.

#### **H. ADJOURNMENT**

With no further business to attend, the meeting was adjourned at 7:41 p.m.

**APPROVED THIS THE 3rd DAY OF JANUARY, 2017.      WITNESS:**

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Paul Walker  
Chairman

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Matthew C. Jones, AICP  
Director of Community Development



# PLANNING AND ZONING COMMISSION DATA SHEET



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**Agenda Item:**

**PUBLIC HEARING:** Consider and make a recommendation for an ordinance amendment (ORD-16-006) regarding text amendments to the Town of Argyle Comprehensive Plan.

**Requested by:**

Planning and Zoning Commission

**Staff:**

Matt Jones, Director of Community Development

**Background:**

The Planning and Zoning Commission requested that Town Staff place an item on their August 2, 2016 agenda to discuss possible updates to the Comprehensive Plan. On August 2<sup>nd</sup> the Planning and Zoning Commission held a work session to go over the current Comprehensive Plan. Chairman Walker asked that each Commissioner take some time to review the plan and come prepared at their regularly scheduled September meeting with any recommended changes.

The Planning and Zoning Commission held a second work session at their regularly scheduled meeting on September 6, 2016 to make recommendations to Town Council for consideration. During that meeting several items were discussed amongst the Commission regarding making amendments to add some clarity to the document, which include the following:

1. Updating the information in the plan regarding the "Tax Gap"; and
2. Cleaning up the language in the plan to remove any conflicting information and consider updating the language to discern between "enabling" versus "limiting".

The Town Council considered these recommendations at their September 27, 2016 meeting and directed staff to take the proposed changes before the Planning and Zoning Commission for public hearings and a formal recommendation.

**Staff Recommendation:**

N/A

**Requested Action:**

Make appropriate recommendations for text amendments to the Comprehensive Plan

**Attachments:**

Draft Updated Pages

## INTRODUCTION

This Introduction to the Comprehensive Plan Update includes information on the history of Argyle and the background and context leading to the need for this Update. After each section of information, a summary statement of the problem or concern is presented. A *Therefore* statement follows as a targeted and direct approach to addressing and solving the problem raised. In this way, a clear pattern between problem and solution is established, while maintaining a close connection to the concerns raised by Argyle residents. *Therefore* statements become some of the guiding principles that direct the Comprehensive Plan Update.

### Historic Development in Argyle

Argyle is situated in southwest Denton County, Texas, on a series of alternating ridges and creek watersheds. This landscape form has shaped development in Argyle since the beginning of its settlement in the 1850s, when early settlers began to raise cattle in the area. The community added a post office, school, and church in the following decades. The Texas and Pacific Railroad, which came to Argyle in 1881, constructed its rail line adjacent to a creek running from north to south to take advantage of the flat constant grade along the banks. As a result, the natural system of the creek watershed gave form to the linear railroad corridor, and subsequent commercial and residential development was also shaped by the linear drainage areas and transportation lines. By the end of the nineteenth century, Argyle had a business district, including a bank, supply stores, and a hotel, to serve the commercial trade brought by the railroad. Local products distributed via railroad included wheat, oats, cotton, and other agricultural products. Later, as the automobile gained importance, a road connecting Argyle with Denton to the north and Fort Worth to the south (which today is US Highway 377, hereinafter known as US 377) followed the alignment of the railroad and creek, and small commercial establishments and residential uses lined the roadway through Argyle. The ease of construction on the level land along the creek served as an incentive for development to follow the natural pattern of the drainage area, which had been

reinforced by the connectivity and value brought by the railroad and highway.

From the beginning of its settlement, Argyle was characterized by agricultural land uses and a linear transportation corridor used to ship goods produced on the individual farms to market. Economic value and identification of Argyle as a community was based on the production from individual lots and their individual owners. Rural lot lines dictated the alignment of new roadways; since lot line alignments were irregular and lacked a central organization, the roads that followed the lines were also irregular. An identity of individualism contributed to a civic reality still present in Argyle today. The rural structure does not provide a town center and has shaped the Town of Argyle as a city of jurisdiction, not of a particular civic spatial form or identity. This reality, built over time by ownership patterns, the landscape of the town, and the lack of town identity, presents a significant challenge for Argyle.

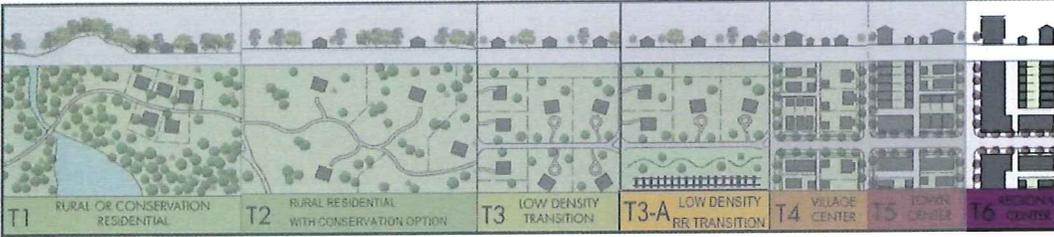
*Commercial development is limited to linear service corridors, and because rural lot characteristics have shaped roadway development, clear gateways and cues to announce arrival to Argyle are lacking.*

***THEREFORE develop a street system determined not by lot lines but by economic conditions, which will enable increased value capture and provide a sense of arrival and civic identity for Argyle.***

US 377, built on the flat constant grade next to the railroad, has historically served as the backbone of the Town of Argyle, though structures and functions along the road are not spatially arranged to form a destination. As the oldest corridor in Town, educational, civic, and commercial land uses are located along the edge of the road, including Argyle High and Middle School and Argyle Town Hall. Older housing stock is also grouped in this corridor. The road grew out of pre-existing natural and rail corridor forms, and as such follows a pattern established by the natural drainage system. Growth along the north-to-south alignment of



T6 - REGIONAL CENTER - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.7 F.A.R.	75%
Commercial (S)	0.5 - 0.7 F.A.R.	
Residential (R)	10 - 12 DU/AC	20%
Residential (S)	8 - 10 DU/AC	
Public Facilities	Varies	5%

BUILDING FUNCTION

Residential	recommended
Lodging	recommended
Office	recommended
Retail	recommended

BUILDING MASSING

Principal Building	8 stories max. 2 min.
Outbuilding	2 stories max. 1 min.

LOT OCCUPATION

Lot Area	5,000 s.f. min. 40,000 s.f. max.
Lot Width	18 ft. min. 180 ft. max.
Lot Coverage	90% max

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	2 ft. min. 12 ft. max.
Front Setback Secondary (FSS)	2 ft. min. 12 ft. max.
Side Setback (SS)	0 ft. min. 24 ft. max.
Rear Setback (RS)	0 ft. min.
Frontage Buildout	80% min. at setback

SETBACKS - OUTBUILDING (Res. only)

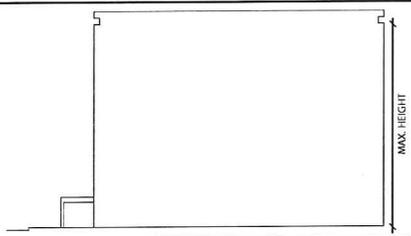
Front Setback Primary (FSP)	30 ft. min.
Front Setback Secondary (FSS)	10 ft. min.
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	5 ft. min.

PRIVATE FRONTAGES

Common Lawn	not permitted
Porch & Fence	not permitted
Terrace	not permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

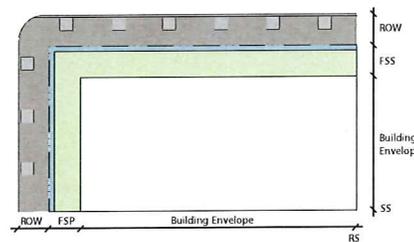
BUILDING MASSING

1. Buildings height shall be measured in number of stories, excluding attics and raised basements.
2. Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function, which can be a maximum of 25 feet.
3. Height shall be measured to eave or roof deck.



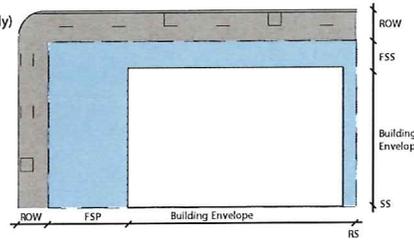
SETBACKS - PRINCIPAL BUILDING

1. The facades and elevations of principal buildings shall be distanced from lot lines as shown.
2. Facades shall be built along the primary frontage to the minimum specified width in the table.



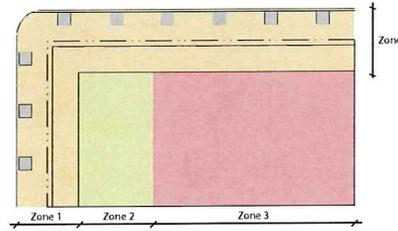
SETBACKS - OUTBUILDING (Res. only)

1. The facades and elevations of the outbuilding shall be distanced from lot lines as shown.

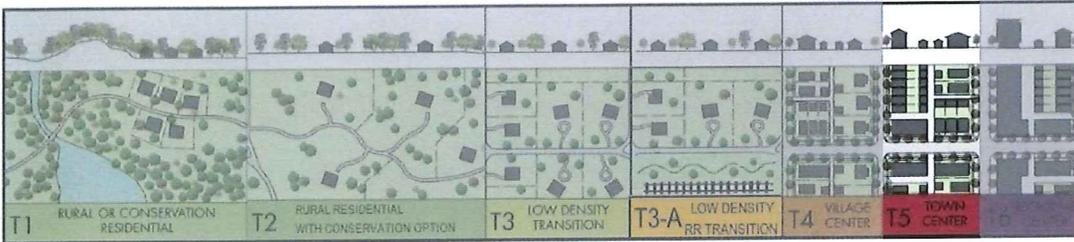


PARKING PLACEMENT

1. Street parking may be provided within Zone 1.
2. Parking lots may be provided within Zone 3.
3. Structured parking may be provided in any zone but is subject to facade regulation.
4. Trash containers shall be stored in Zone 3.



T5 - TOWN CENTER - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.5 F.A.R.	55%
Commercial (S)	0.3 - 0.5 F.A.R.	
Residential (R)	5 - 6 DU/AC	35%
Residential (S)	4 - 5 DU/AC	
Public Facilities	Varies	10%

BUILDING FUNCTION

Residential	recommended
Lodging	suitable
Office	recommended
Retail	recommended

BUILDING MASSING

Principal Building	4 stories max. 2 min
Outbuilding	2 stories max. 1 min

LOT OCCUPATION

Lot Area	1,200 sf. min. 40,000 sf. max.
Lot Width	18 ft. min. 120 ft. max.
Lot Coverage	80% max

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	2 ft. min. 12 ft. max.
Front Setback Secondary (FSS)	2 ft. min. 12 ft. max.
Side Setback (SS)	0 ft. min. 24 ft. max.
Rear Setback (RS)	0 ft. min.
Frontage Buildout	80% min. at setback

SETBACKS - OUTBUILDING

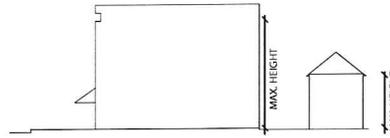
Front Setback Primary (FSP)	30 ft. min.
Front Setback Secondary (FSS)	10 ft. min.
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	5 ft. min.

PRIVATE FRONTAGES

Common Lawn	not permitted
Porch & Fence	permitted
Terrace	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

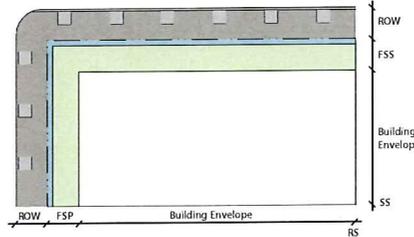
BUILDING MASSING

- Buildings height shall be measured in number of stories, excluding attics and raised basements.
- Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which can be a maximum 25 feet.
- Height shall be measured to eave or roof deck.



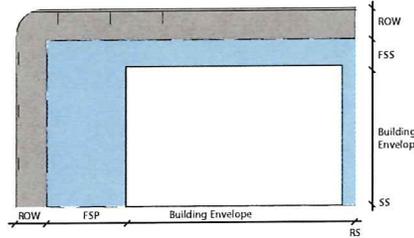
SETBACKS - PRINCIPAL BUILDING

- The facades and elevations of principal buildings shall be distanced from lot lines as shown.
- Facades shall be built along the primary frontage to the minimum specified width in the table.



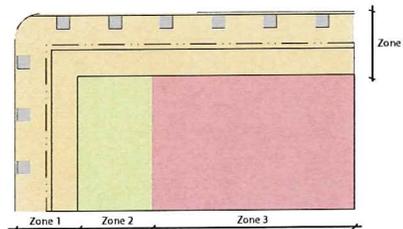
SETBACKS - OUTBUILDING

- The facades and elevations of the outbuilding shall be distanced from lot lines as shown.

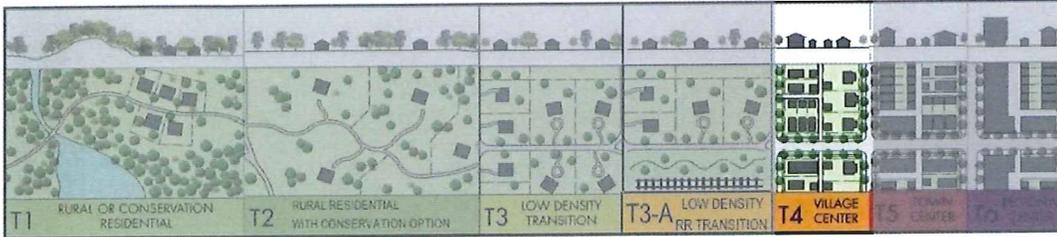


PARKING PLACEMENT

- Street parking may be provided within Zone 1
- Parking lots may be provided within Zone 3
- Structured parking may be provided in any zone but is subject to facade regulation
- Trash containers shall be stored in Zone 3



T4 - VILLAGE CENTER - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.4 F.A.R.	40%
Commercial (S)	0.3 - 0.4 F.A.R.	
Residential (R)	5 - 6 DU/AC	50%
Residential (S)	4 - 5 DU/AC	
Public Facilities	Varies	10%

BUILDING FUNCTION

Residential	recommended
Lodging	-
Office	recommended
Retail	recommended

BUILDING MASSING

Principal Building	3 stories max. 1 min
Outbuilding	2 stories max. 1 min

LOT OCCUPATION

Lot Area	1,200 s.f. min. 20,000 s.f. max.
Lot Width	18 ft. min. 96 ft. max.
Lot Coverage	70% max

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	2 ft. min. 12 ft. max.
Front Setback Secondary (FSS)	2 ft. min. 12 ft. max.
Side Setback (SS)	0 ft. min. 24 ft. max.
Rear Setback (RS)	0 ft. min.
Frontage Buildout	60% min. at setback

SETBACKS - OUTBUILDING

Front Setback Primary (FSP)	30 ft. min.
Front Setback Secondary (FSS)	10 ft. min.
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	5 ft. min.

PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted
Terrace	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	not permitted
Arcade	not permitted

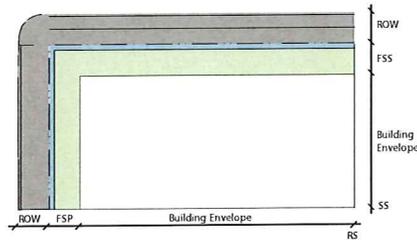
BUILDING MASSING

- Buildings height shall be measured in number of stories, excluding attics and raised basements.
- Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which can be a maximum 25 feet.
- Height shall be measured to eave or roof deck.



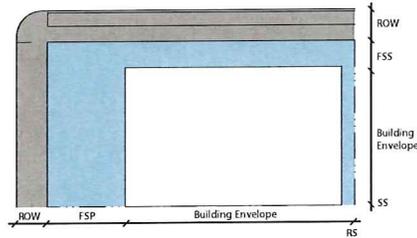
SETBACKS - PRINCIPAL BUILDING

- The facades and elevations of principal buildings shall be distanced from lot lines as shown.
- Facades shall be built along the primary frontage to the minimum specified width in the table.



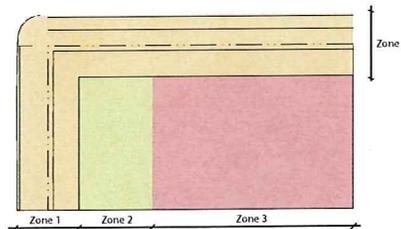
SETBACKS - OUTBUILDING

- The facades and elevations of the outbuilding shall be distanced from lot lines as shown.

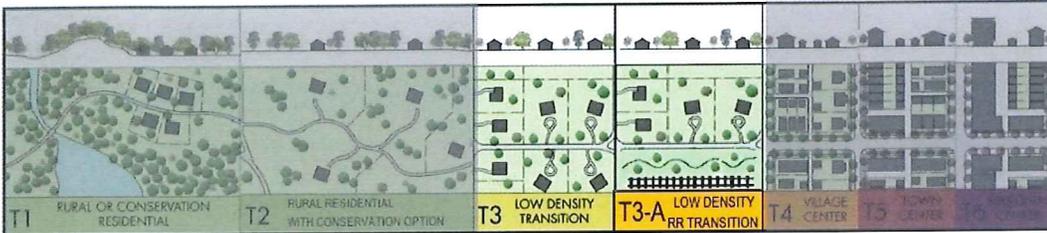


PARKING PLACEMENT

- Street parking may be provided within Zone 1
- Parking lots may be provided within Zone 3
- Structured parking may be provided in any zone but is subject to facade regulation
- Trash containers shall be stored in Zone 3



T3 / T3A - LOW DENSITY TRANSITION / LOW DENSITY RAILROAD TRANSITION - OVERVIEW



**T3 - LOW DENSITY TRANSITION**

Transitions in a town with diverse built forms are essential to avoid abrupt changes in visual and physical character between districts. The Low Density Transition district provides a zone in which uses and density evolve from higher density, commercially-oriented centers in the Village and Town Centers to the low density residential character valued by Argyle. This district has a traditional single-family residential character, with some neighborhood commercial and public facilities located here as well. **Density may reach up to three dwelling units per acre, though 60% of the T3 zone is 1 dwelling unit per acre;** Buildings throughout the district have 24-foot setbacks and are limited to two and a half stories. Tree plantings also transition, moving away from equally-spaced street trees to more naturalistic swaths or groupings.



**T3A - LOW DENSITY RAILROAD TRANSITION**

The unique area that comprises T3A lies west of the UP Rail Lane. This zone creates a transition from the active railroad track and US 377 to the primarily rural residential uses to the west of Stonecrest Road. This district is exclusively residential with public facility and park allowances and connecting trail requirements that run along the railroad ROW with heavy landscape buffering and 30% open space required. Density contemplated for this district is 1 unit/acre Recommended with 1.25 units/acre Suitable allowances based on the discretion of the Town Council. Building setbacks and height limitations mirror the T3 district. Tree plantings increase along the trail and railroad ROW in a manner that reflects natural swaths and groupings. New developments should provide appropriate buffers when adjacent to T1 or T2 or existing 2.5 acres+ residential developments. New development should provide 50' protection zones along either side of existing creeks, streams, and drainage channels. Trails within new developments should be located along the rail lane and not along highways or adjacent to T1, T2 or existing 2.5 acres+ residential developments. New developments should be sensitive to existing topography and avoid removal of existing hillsides to accommodate new lots.



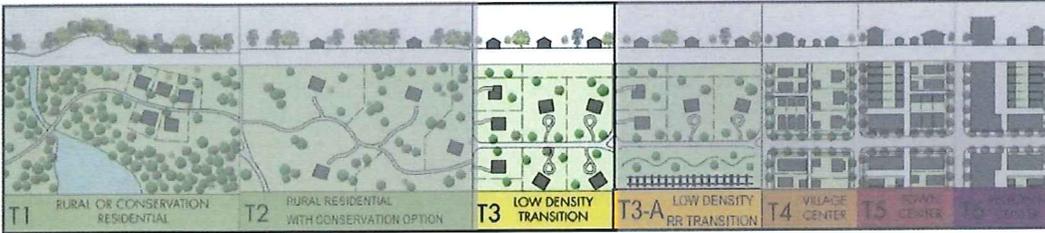
**T3A Density Calculation Example:**

100 acre parcel will accommodate 100 units (Recommended) or 125 units (Suitable). 30% of the area must be designated open space in which street ROW, gas well pad sites and other non-usable areas may NOT be used in the 30% calculation.



Form Based Standards 73  
Amended February 24, 2015

T3 - LOW DENSITY TRANSITION - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.35 F.A.R.	10%
Commercial (S)	< 0.35 F.A.R.	
Residential (R)	< 1 DU/AC	75%
Residential (S)	1 - 2 DU/AC	
Public Facilities	Varies	15%

BUILDING FUNCTION

Residential	recommended
Lodging	-
Office	suitable
Retail	suitable

BUILDING MASSING

Principal Building	2 stories max. 1 min.
Outbuilding	2.5 stories max. 1 min.

LOT OCCUPATION

Lot Area	12,000 to 40,000 sf. min.
Lot Width	70 ft. min.
Lot Coverage	60% max.

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	24 ft. min.
Front Setback Secondary (FSS)	12 ft. min.
Side Setback (SS)	12 ft. min.
Rear Setback (RS)	12 ft. min.
Frontage Buildout	30% min. at setback

SETBACKS - OUTBUILDING

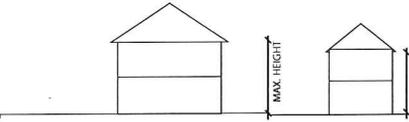
Front Setback Primary (FSP)	20 ft. min.
Front Setback Secondary (FSS)	10 ft. min.
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	5 ft. min.

PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted
Terrace	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	permitted
Gallery	not permitted
Arcade	not permitted

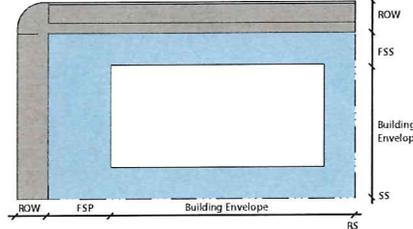
BUILDING MASSING

- Buildings height shall be measured in number of stories, excluding attics and raised basements
- Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which can be a maximum 25 feet.
- Height shall be measured to eave or roof deck.



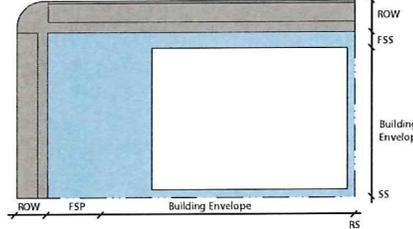
SETBACKS - PRINCIPAL BUILDING

- The facades and elevations of principal buildings shall be distanced from lot lines as shown.
- Facades shall be built along the primary frontage to the minimum specified width in the table.



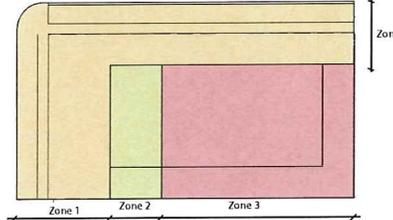
SETBACKS - OUTBUILDING

- The facades and elevations of the outbuilding shall be distanced from lot lines as shown.



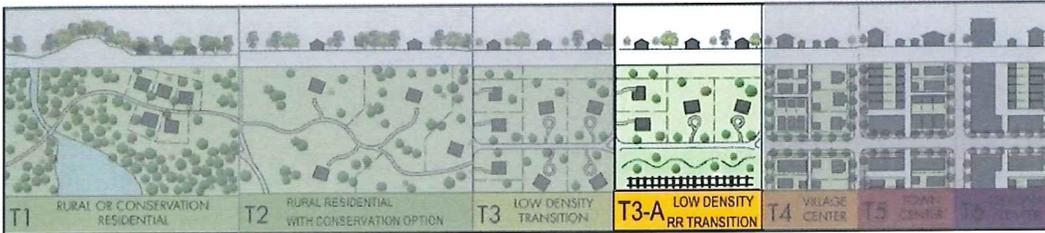
PARKING PLACEMENT

- Street parking may be provided within Zone 1
- Parking lots may be provided within Zone 3
- Structured parking may be provided in any zone but is subject to facade regulation
- Trash containers shall be stored in Zone 3



mjones  
D:20161221110638-06'00'12/21/2016 11:06:38 AM  
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Marked set by mjones

T3A - LOW DENSITY RAILROAD TRANSITION - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	-	
Commercial (S)	-	
Residential (R)	1 DU/AC	100%
Residential (S)	1.25 DU/AC	
Public Facilities	Varies	

BUILDING FUNCTION

Residential	recommended
Lodging	
Office	
Retail	

BUILDING MASSING

Principal Building	2 stories max. 1 min.
Outbuilding	2 stories max. 1 min.

LOT OCCUPATION

Lot Area	12,000-10,000 s.f. min.
Lot Width	70 ft. min.
Lot Coverage	60% max.

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	24 ft. min.
Front Setback Secondary (FSS)	12 ft. min
Side Setback (SS)	12 ft. min.
Rear Setback (RS)	12 ft. min.
Frontage Buildout	30% min. at setback

SETBACKS - OUTBUILDING

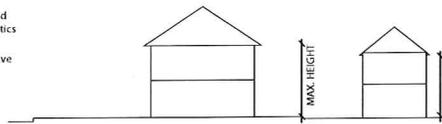
Front Setback Primary (FSP)	
Front Setback Secondary (FSS)	
Side Setback (SS)	
Rear Setback (RS)	

PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted

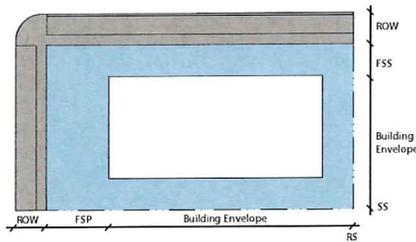
BUILDING MASSING

1. Buildings height shall be measured in number of stories, excluding attics and raised basements.
2. Height shall be measured from eave or roof deck

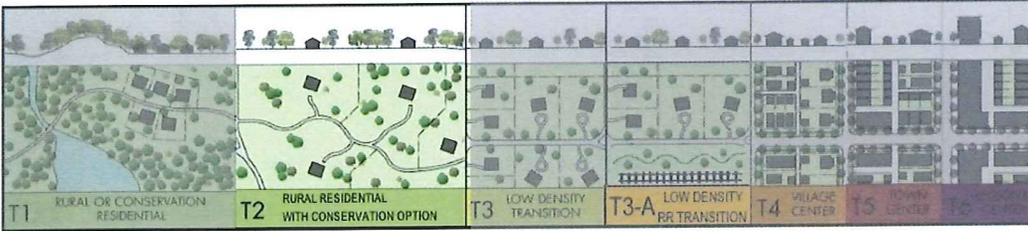


SETBACKS - PRINCIPAL BUILDING

1. The facades and elevations of principal buildings shall be distanced from lot lines as shown.
2. Facades shall be built along the primary frontage to the minimum specified width in the table.



T2 - RURAL RESIDENTIAL - PRIVATE REALM



**\*LAND USE BREAKDOWN**

Commercial (R)	-	0%
Commercial (S)	-	
Residential (R)	5.0 AC/DU	95%
Residential (S)	5.0 AC/DU	
Public Facilities	Varies	5%

**BUILDING FUNCTION**

Residential	recommended
Lodging	-
Office	-
Retail	-

**BUILDING MASSING**

Principal Building	2 stories max. 1 min
Outbuilding	2 stories max. 1 min

**LOT OCCUPATION**

Lot Area	217,800 to 8,900 s.f. min.
Lot Width	not applicable
Lot Coverage	not applicable

**BUILDING DISPOSITION**

Front Setback Primary (FSP)	100 ft. min.
Front Setback Secondary (FSS)	24 ft. min.
Side Setback (SS)	24 ft. min.
Rear Setback (RS)	24 ft. min.
Frontage Buildout	not applicable

**SETBACKS - OUTBUILDING**

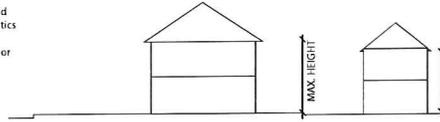
Front Setback Primary (FSP)	not applicable
Front Setback Secondary (FSS)	not applicable
Side Setback (SS)	not applicable
Rear Setback (RS)	not applicable

**PRIVATE FRONTAGES**

Common Lawn	permitted
Porch & Fence	permitted
Terrace	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted

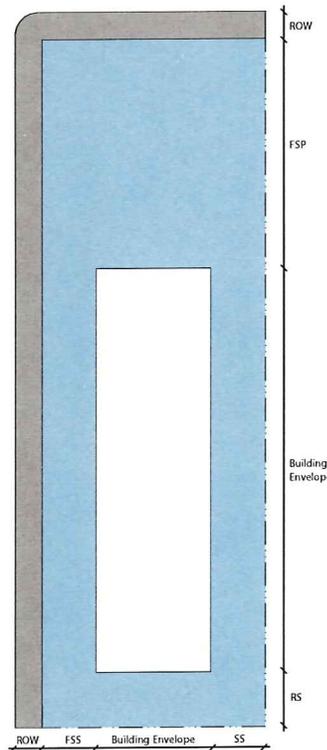
**BUILDING MASSING**

- Buildings height shall be measured in number of stories, excluding attics and raised basements.
- Height shall be measured to eave or roof deck.



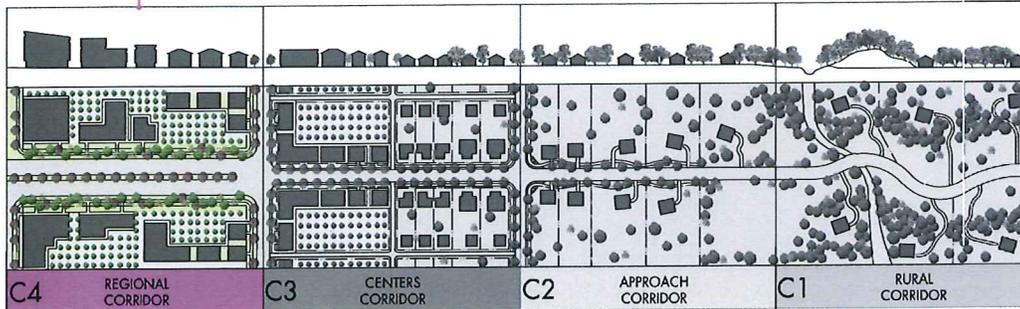
**SETBACKS - PRINCIPAL BUILDING**

- The facades and elevations of principal buildings shall be distanced a minimum from lot lines as shown.



\* Conservation standards if approved are the same as allowed in T1 while still preserving overall unit/acre limitations

C4 - REGIONAL CORRIDOR - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.6 F.A.R.	80%
Commercial (S)	0.4 - 0.6 F.A.R.	
Residential (R)	10 - 12 DU/AC	15%
Residential (S)	8 - 10 DU/AC	
Public Facilities	Varies	5%

BUILDING FUNCTION

Residential	suitable
Lodging	recommended
Office	recommended
Retail	recommended

BUILDING MASSING

Principal Building	4 stories max. 1 min
Outbuilding	2 stories max. 1 min

LOT OCCUPATION

Lot Area	3,000 <del>5,000</del> s.f. min-100,000
Lot Width	18 ft. min. 700 ft. max
Lot Coverage	90% max

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	2 ft. min. 100 ft. max
Front Setback Secondary (FSS)	2 ft. min. 50 ft. max
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	0 ft. min.
Frontage Buildout	50% min. at setback

SETBACKS - OUTBUILDING

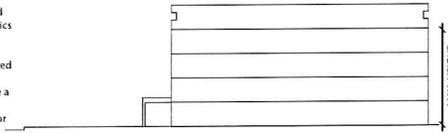
Front Setback Primary (FSP)	50 ft. min.
Front Setback Secondary (FSS)	10 ft. min
Side Setback (SS)	2 ft. min
Rear Setback (RS)	5 ft. min

PRIVATE FRONTAGES

Common Lawn	not permitted
Porch & Fence	not permitted
Terrace	not permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

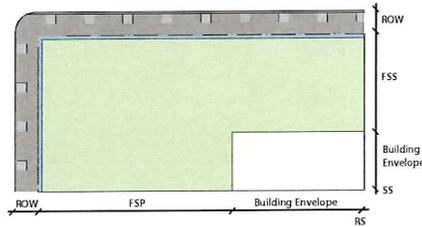
BUILDING MASSING

1. Buildings height shall be measured in number of stories, excluding attics and raised basements.
2. Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which can be a maximum 25 feet.
3. Height shall be measured to eave or roof deck.



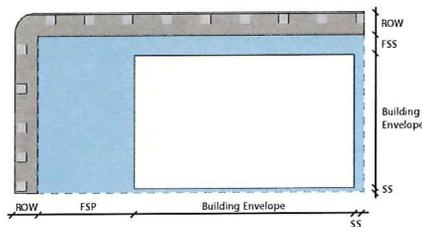
SETBACKS - PRINCIPAL BUILDING

1. The facades and elevations of principal buildings shall be distanced from lot lines as shown.
2. Facades shall be built along the primary frontage to the minimum specified width in the table.



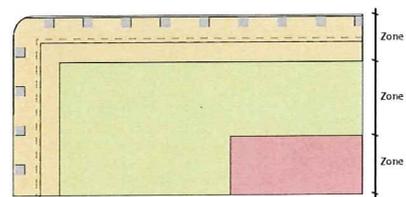
SETBACKS - OUTBUILDING

1. The facades and elevations of the outbuilding shall be distanced from lot lines as shown.

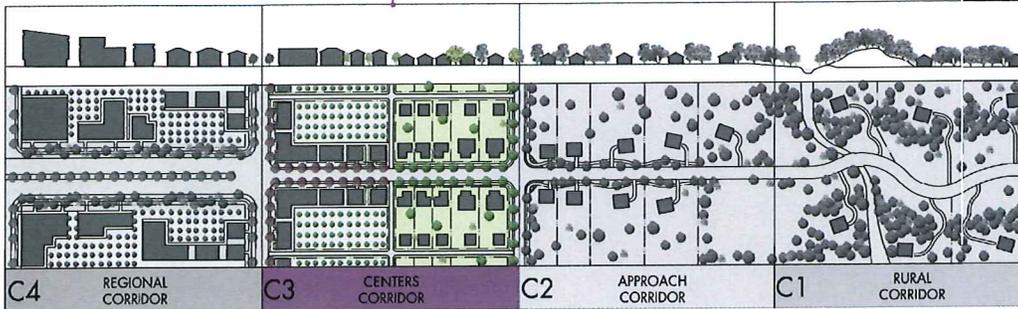


PARKING PLACEMENT

1. Street parking may be provided within Zone 1
2. Parking lots are limited in Zone 2
3. Parking lots may be provided within Zone 3
4. Structured parking may be provided in any zone but is subject to facade regulation
5. Trash containers shall be stored in Zone 3



C3 - CENTERS CORRIDOR - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	> 0.5 F.A.R.	60%
Commercial (S)	0.3 - 0.5 F.A.R.	
Residential (R)	5 - 6 DU/AC	30%
Residential (S)	3.4 - 5 DU/AC	
Public Facilities	Varies	10%

BUILDING FUNCTION

Residential	recommended
Lodging	suitable
Office	recommended
Retail	recommended

BUILDING MASSING

Principal Building	3 stories max. 1 min
Outbuilding	2 stories max. 1 min

LOT OCCUPATION

Lot Area	3,000-1,200 s.f. min. 20,000 s.f.
Lot Width	18 ft. min. 96 ft. max
Lot Coverage	60% max

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	2 ft. min. 24 ft. max
Front Setback Secondary (FSS)	2 ft. min. 24 ft. max
Side Setback (SS)	0 ft. min.
Rear Setback (RS)	0 ft. min.
Frontage Buildout	40% min. at setback

SETBACKS - OUTBUILDING

Front Setback Primary (FSP)	30 ft. min.
Front Setback Secondary (FSS)	10 ft. min
Side Setback (SS)	0 ft. min
Rear Setback (RS)	5 ft. min

PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted
Terrace	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	not permitted
Arcade	not permitted

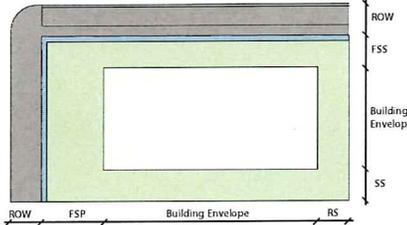
BUILDING MASSING

- Buildings height shall be measured in number of stories, excluding attics and raised basements.
- Stories shall not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor commercial function which can be a maximum 25 feet.
- Height shall be measured to eave or roof deck.



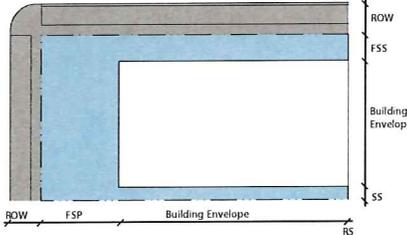
SETBACKS - PRINCIPAL BUILDING

- The facades and elevations of principal buildings shall be distanced from lot lines as shown.
- Facades shall be built along the primary frontage to the minimum specified width in the table.



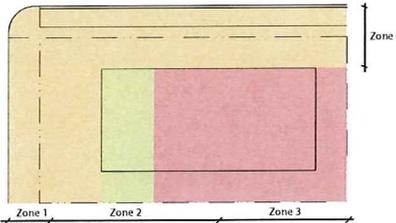
SETBACKS - OUTBUILDING

- The facades and elevations of the outbuilding shall be distanced from lot lines as shown.

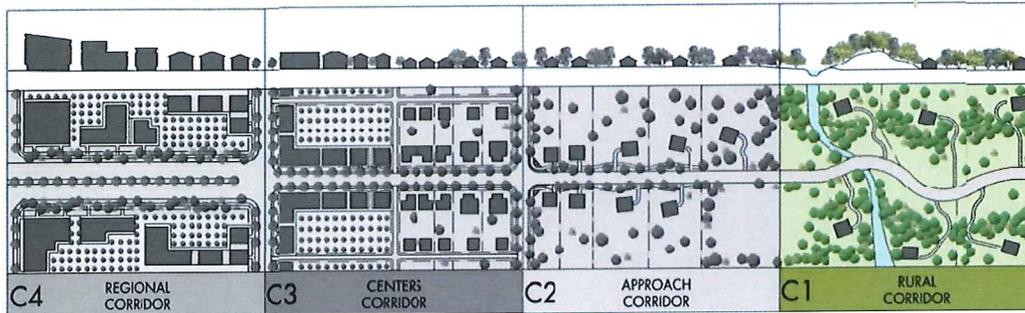


PARKING PLACEMENT

- Street parking may be provided within Zone 1
- Parking lots may be provided within Zone 3
- Structured parking may be provided in any zone but is subject to facade regulation
- Trash containers shall be stored in Zone 3



C1 - RURAL CORRIDOR - PRIVATE REALM



LAND USE BREAKDOWN

Commercial (R)	-	0%
Commercial (S)	-	
Residential (R)	10 AC/DU	90%
Residential (S)	5 AC/DU	
Public Facilities	Varies	10%

BUILDING FUNCTION

Residential	recommended
Lodging	-
Office	-
Retail	-

BUILDING MASSING

Principal Building	2 stories max. 1 min
Outbuilding	2 stories max. 1 min

LOT OCCUPATION

Lot Area	217,800 <del>435,600</del> s.f. min.
Lot Width	not applicable
Lot Coverage	not applicable

SETBACKS - PRINCIPAL BUILDING

Front Setback Primary (FSP)	200 ft. min.
Front Setback Secondary (FSS)	48 ft. min.
Side Setback (SS)	48 ft. min.
Rear Setback (RS)	48 ft. min.
Frontage Buildout	not applicable

SETBACKS - OUTBUILDING

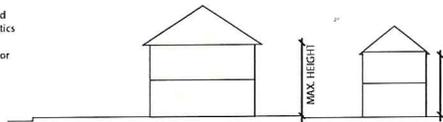
Front Setback Primary (FSP)	not applicable
Front Setback Secondary (FSS)	not applicable
Side Setback (SS)	not applicable
Rear Setback (RS)	not applicable

PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted
Terrace	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted

BUILDING MASSING

- Buildings height shall be measured in number of stories, excluding attics and raised basements.
- Height shall be measured to eave or roof deck.



SETBACKS - PRINCIPAL BUILDING

- The facades and elevations of principal buildings shall be distanced a minimum from lot lines as shown.

